



**CYPRESS POINT COMMUNITY FRONT ENTRY GATE REDESIGN**

Electronic Vote – 22 April 2022

# New Gate – Issues Being Addressed

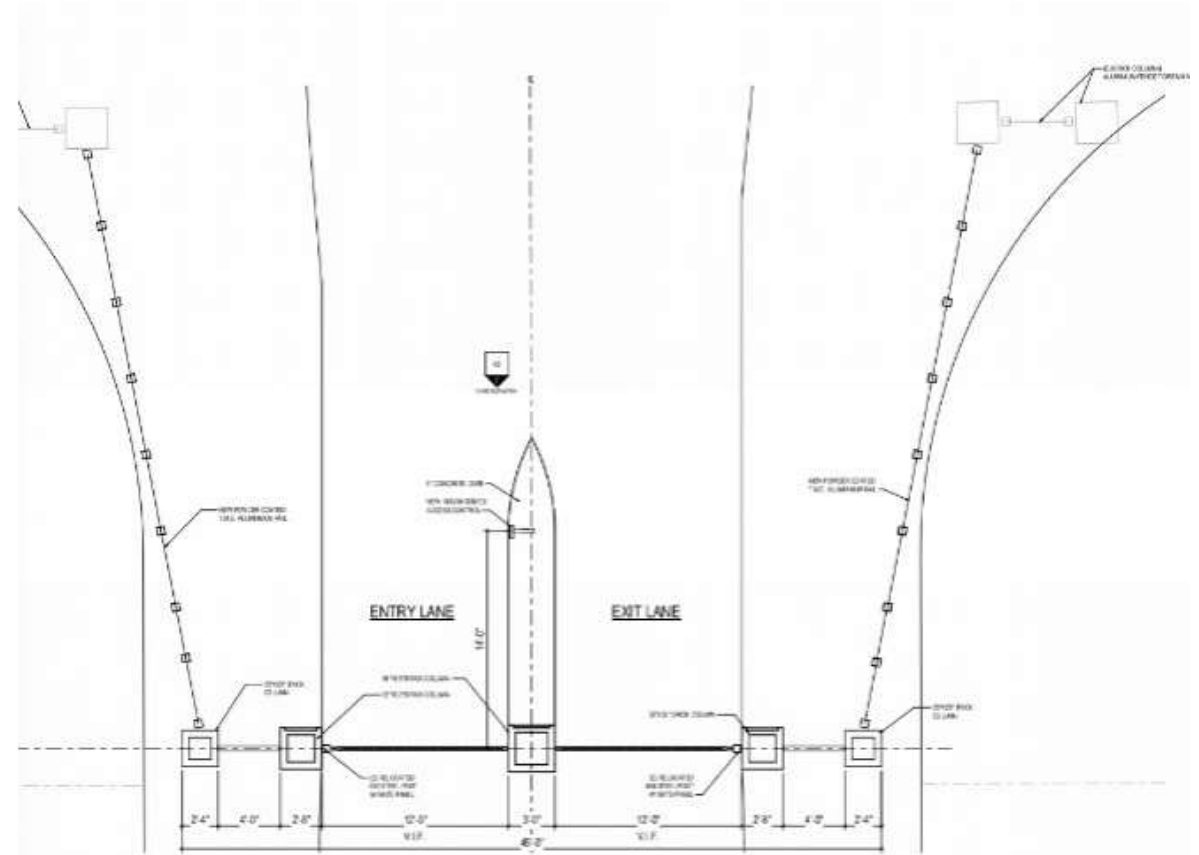
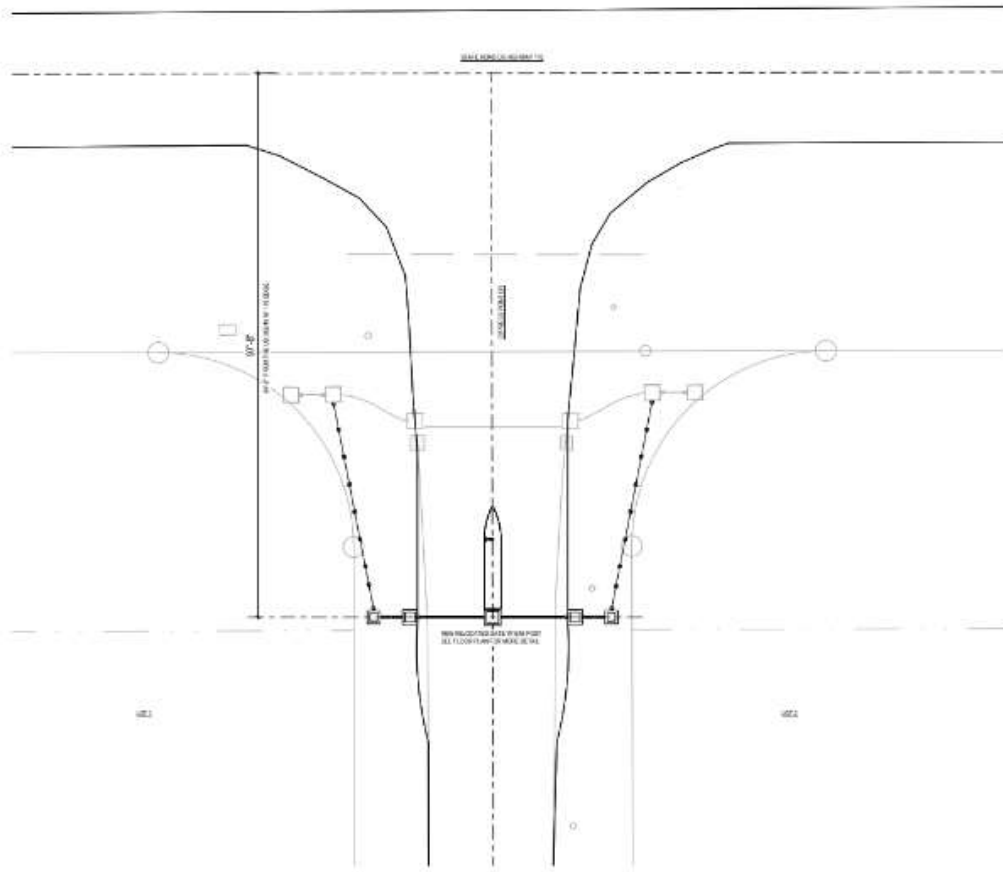
- Safety
  - Set-back sufficient to accept 54' Trailer & Tractor plus 1 Car
  - Separate Inbound & Outbound Traffic
  - Width to allow for egress safely onto Route 176
  - Working YELP Feature for Police, Fire & Ambulance Access
    - We have already had 1 incident where an emergency vehicle could not access the property
- Security
  - 24/7 Camera Surveillance – So we have digital record of who is entering and exiting the community and at what times
  - Functioning Gates – Preventing random opening of gates
- Functionality
  - 14' Entrance & Egress Gates
  - Web updateable Gate Codes
  - Smart-Phone Gate Access on Demand
  - Digital Kiosk & Message Board
- Appearance
  - Updated Brick Walls
  - Center Island
  - Digital Gate Code Entry Pad

# Finances

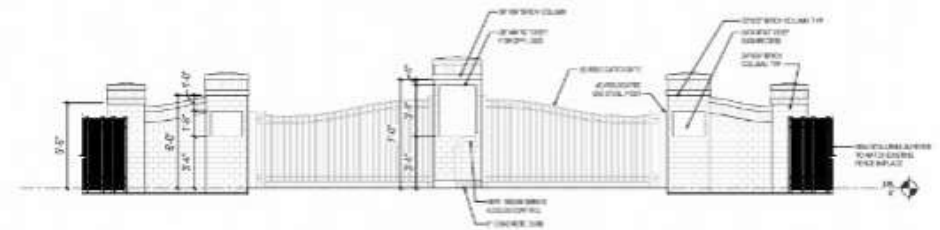
• Total Project Cost	\$74,000
• Remove Old Gates & Brick Walls & Fencing	
• Widen Roadway ~95'	
• Construct and install New 14' Gates & Brick Walls & Fencing	
• Re-pave ~95'	
• HOA Cash on Hand Opening Balance	\$54,000
• Less Project Down Payment	\$30,000
• Less Project Balance Due Installments & Upon Completion	<u>\$44,000</u>
• HOA Treasury (Deficit) / Surplus	(\$20,000)
• Project Special Assessment Funds to HOA Treasury	\$44,020
• Project Special Assessment per Lot Owner \$ 1,420	
• HOA Cash on Hand - Ending Balance	\$24,020
• Anticipated Disbursements from HOA Treasury – Remainder 2022	<u>~\$13,000</u>
• Anticipated HOA Treasury Ending Balance – 31 December 2022	\$ 11,000



# Drawing – New Gate



**1 GATE PLAN**  
SCALE: 1/8"=1'-0"



**2 GATE ELEVATION**  
SCALE: 1/8"=1'-0"

# Rendering – New Gate

